



APPLICATION FOR  
ZONING BY-LAW AMENDMENT

545-565 BIG BAY POINT ROAD  
CITY OF BARRIE  
PUBLIC MEETING

February 26, 2025



**INNOVATIVE PLANNING SOLUTIONS**  
PLANNERS • PROJECT MANAGERS • LAND DEVELOPERS

# SUBJECT SITE



## SITE STATISTICS

- Lot Area:
  - Entire Lands:  
Approx. 12,098 m<sup>2</sup>
- Frontage:
  - 184m along Big Bay Point
- Existing Site Conditions
  - 8 Existing single detached dwellings
  - Generally flat



# SURROUNDING USES



Transit Stops



Parks



Medical Centre



Places of Worship



Community Centre



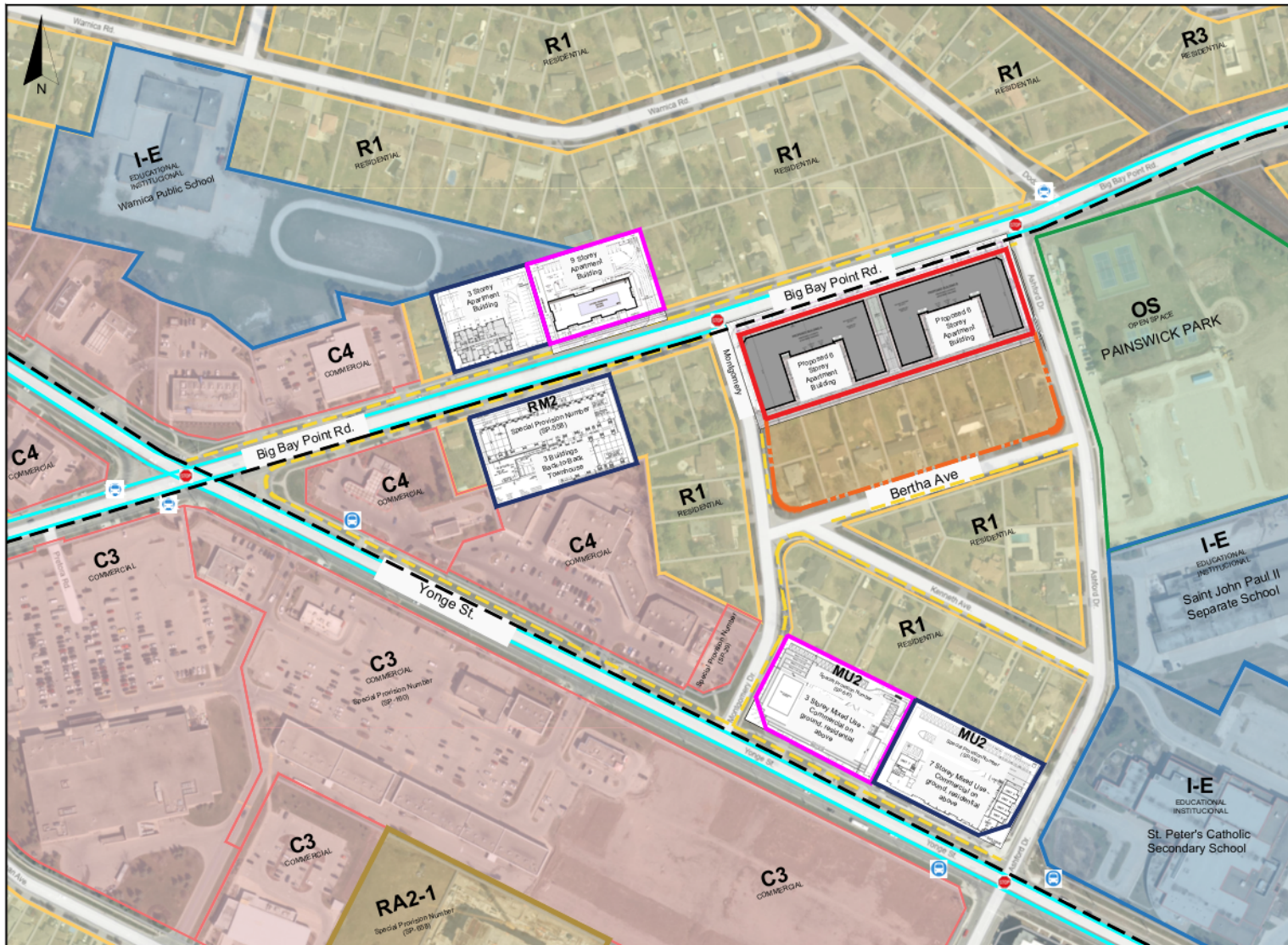
Subject Area



Higher Density  
Development



# BLOCK PLAN



## CONCEPTUAL SITE PLAN

Yonge Street, Big Bay Point Rd., Barrie

Scale: n.t.s.  
0 20 40 60 80 100m

### LEGEND

- Subject Site ±12,098m<sup>2</sup> (2.989 ac.)
  - Proposed Development
  - Approved Development
  - Existing Sidewalk
  - Cycling Network
  - Existing Transit Route
  - Existing Transit Stop
  - Existing Road Intersections
  - Community Parks
- Current Zoning:**
- Residential
  - General Commercial
  - Institutional
  - Adjacent lands under the same ownership (not part of the subject site)

Source: Current City of Barrie Zoning by-law  
Note: Information shown is approximate and subject to change.



## **City of Barrie Official Plan, 2022**

- Neighbourhood Area



## **City of Barrie Zoning By-law 2009-141**

- Residential Single Detached Dwelling First Density (R1)



Midnight Building Group are a boutique residential builder in the Greater Toronto Area and are committed to:

- Providing diverse housing options, with a focus on purpose-built rentals
- Partnering with the local community
- Providing unique commercial growth opportunities
- Experienced rental management team that oversees over 150 rental units

Two of the company partners have deep family ties in Simcoe County.

# MB

## MIDNIGHT BUILDING



Multiplex: 60 Cannon Rd.



Apartment building: 2585 Lakeshore Boulevard West



Single family: 69 Guthrie Ave

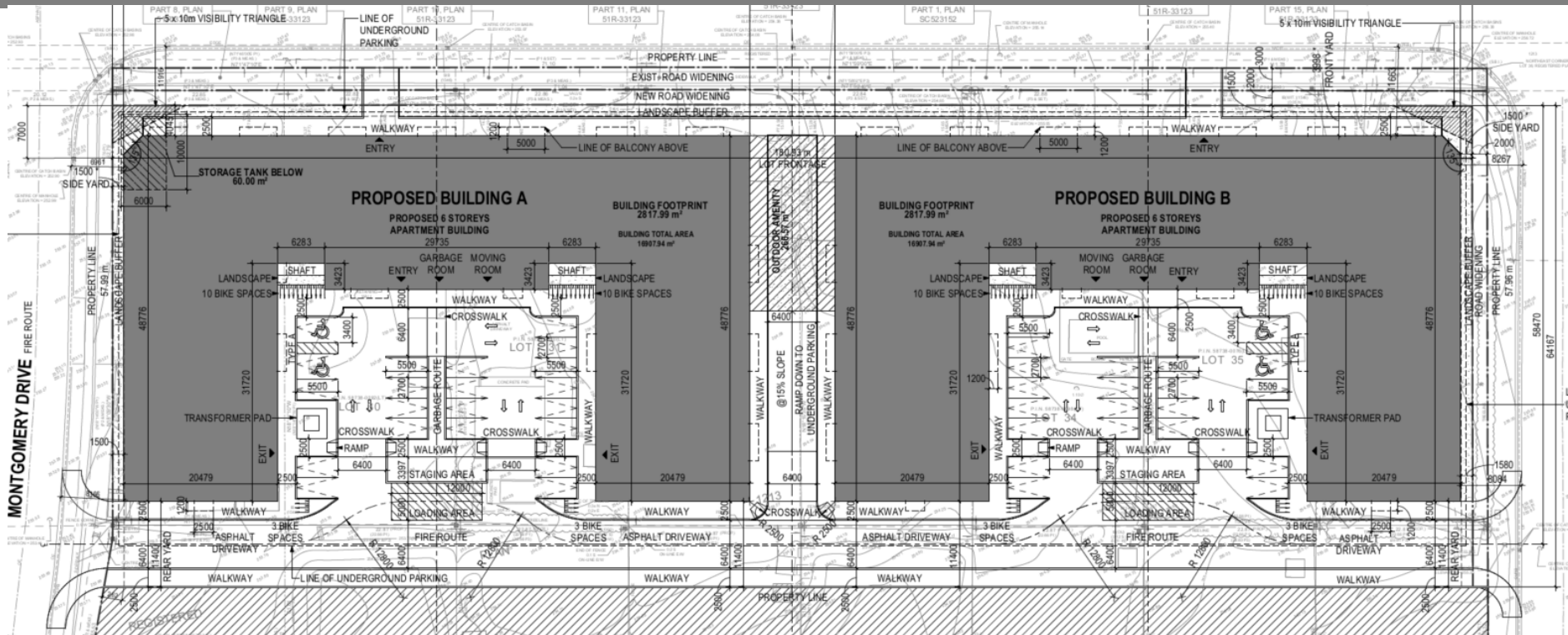


Multiplex: 106 Lake Promenade



Custom home: 47 Foursome Crescent, North York

# DEVELOPMENT CONCEPT



## Proposed:

- 468 dwelling units
  - 46 affordable units
- Two 6-storey buildings

## Amenity Space:

- 3254 m2 Outdoor amenity area

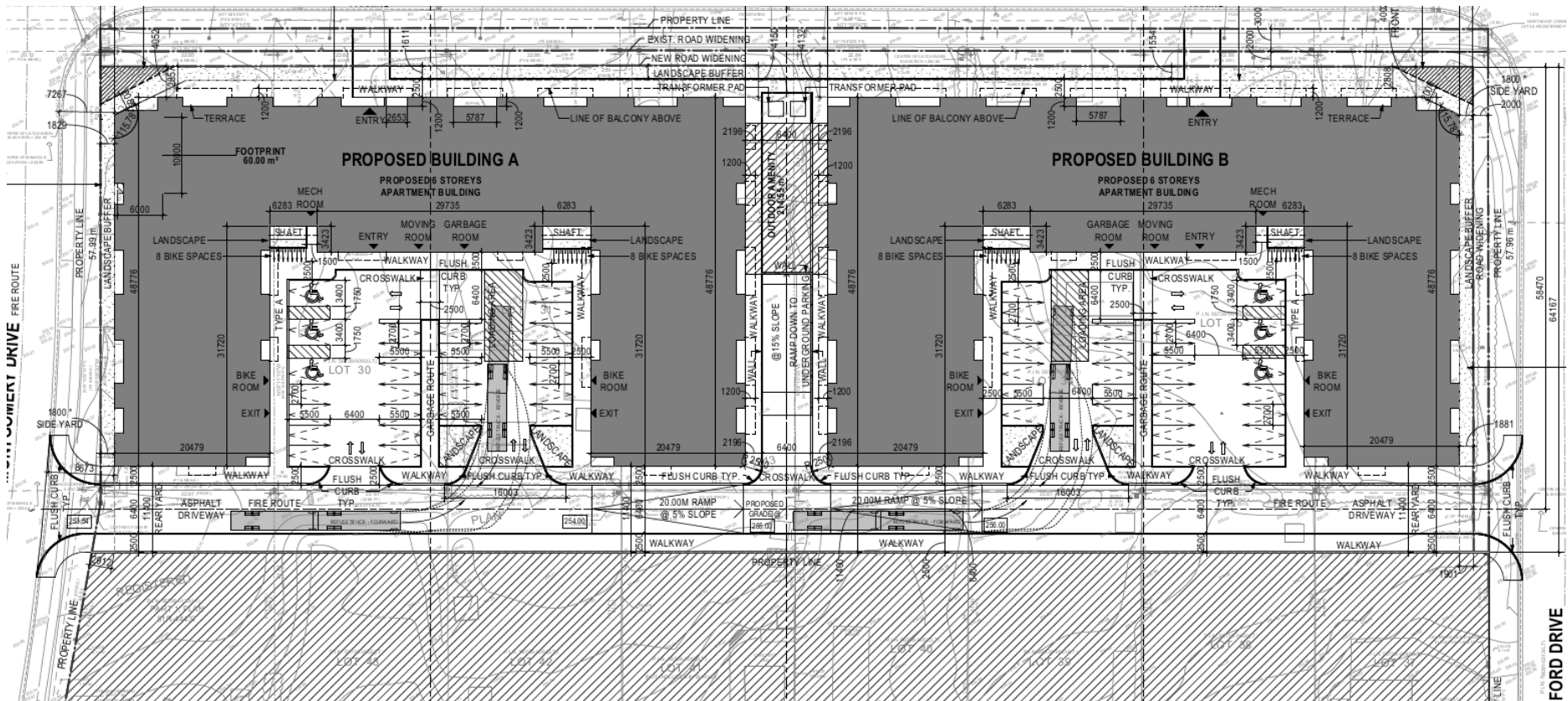
## Parking:

- 346 total parking spaces
  - Market rate units: 0.82 spaces/unit

## Other:

- Private internal condominium road
- Outdoor Landscape space next to Big Bay Point Road
- Purpose-built rental including affordable units

# PENDING CONCEPT



- Ground Floor Terraces are shown on Site Plan
- Trash route and surface parking has been updated
- Parking garage has been extended
- Building A has been lowered so garage is below grade in NW corner
- Reduced max height to 18m
- Increased the side setbacks



# DESIGN CONSIDERATIONS

- Exterior building
  - Modern building with glass facades and contrasting panels.
- Sustainable design
  - Landscaped areas with seating
  - Sustainable materials and finishes to reduce environmental impact



## **Zoning By-law Amendment**

Residential Single Detached Dwelling First Density (R1)



Residential Apartment Second Density (RA2-X)



# SITE SPECIFIC PROVISIONS

**Table 1: Residential Apartment 2 (RA2-XX) Zone**  
**Section 5.3.1 of By-law 2009-141**

PROVISIONS	REQUIRED	PROVIDED
Permitted uses	Apartment Dwelling	Apartment Dwelling
Lot Area – Gross (min)	1,300 m <sup>2</sup>	11,633.92 m <sup>2</sup>
Front Lot Line	For a corner lot, the shorter lot line	Big Bay Point Road
Lot Frontage (min.)	30 m	180.93 m
Front Yard Setback to Dwelling Unit (min.)	7 m	4 m
Side Yard Setback (min.)	Where abuts a street: 3 m Otherwise: 5m	Abutting a street: 1.8 m
Rear Yard Setback (min.)	7 m	11.4 m
Landscaped Open Space (min.)	4,071.87 m <sup>2</sup> 35%	2,732.7 m <sup>2</sup> 24 %
Lot Coverage (max. % of lot area)	4,071.87 m <sup>2</sup> 35%	5,635.98 m <sup>2</sup> 48.39%
Gross Floor Area (max. % of lot area)	23,267.84 m <sup>2</sup> 200%	29,940.04 m <sup>2</sup> 232%
Building Height (max.)	30 m	19.5 m
Parking (min.)	684 (456 x 1.5) 1.5 spaces per unit	346 spaces 0.82 spaces per market rate units (422 Market Rate Units)
Barrier Free Parking (min.)	23 Spaces (1 + 3% of required)	24 spaces

- Front Lot Line
- Reduced front yard setback
- Reduced side yard setback
- Reduced landscaped open Space
- Increased lot coverage
- Increased Gross Floor Area
- Decreased parking

# REQUIRED STUDIES

- Planning Justification Report
- Affordable Housing Report
- Shadow Study
- Block/Context Plan
- Geotechnical Report
- Hydrogeological Study
- Functional Servicing and Stormwater Management Report
- Topographic Survey
- Architectural Set
- Tree Inventory & Preservation Plan/Report
- Noise/Vibration Impact Analysis\*
- Traffic Impact & Parking Justification Study
- Swept Path Analysis
- Parking Justification Report
- Environmental Site Assessment (Phase 1 & Phase 2)
- Phosphorus Budget



- The lands are within the City of Barrie's Built-up Area. The proposed development makes efficient use of otherwise underutilized lands and existing resources.
- The development will be compact, walkable and transit-supportive in an appropriate location.
- Two 6-storey purpose-built rental apartment buildings will help the city meet intensification targets, diversify the range of housing options in the area, and contribute to the achievement of a complete community.
- The development provides much-needed housing stock in a functional manner and at a time when supply is limited and rents are increasing at a fast pace.
- The proposed development abuts a strategic growth area and will provide a transition to the surrounding lower-density areas.

- This proposal seeks to facilitate a Zoning By-law Amendment in support of two 6-storey purpose-built rental apartment buildings.
- The development provides intensification in proximity to supportive land uses and similar proposed built forms.
- It is our opinion that the proposal is consistent and in conformity with all levels of planning policy.



# QUESTIONS & COMMENTS

An aerial photograph of a suburban neighborhood, showing a grid of streets, houses with varying roof colors, green lawns, and numerous trees. A swimming pool is visible in one of the backyards. The image is used as a background for the central text.

# THANK YOU

Questions & Comments Welcome

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