

370 Big Bay Point Road The SPOT Towns



370 BIG BAY POINT ROAD // RESIDENTIAL CLUSTER TOWNHOUSE DEVELOPMENT

Aerial View: Site and Surrounding Land Use











NORTH: Low-density residential neighbourhood and a recreational park.

EAST: Low-density residential neighbourhood, Environmental Protection Area (Lovers Creek) and commercial uses (Big Bay Point Road and Yonge Street).

SOUTH: Big Bay Point Road, Discovery Child Care Centre, St. Michael the Archangel Catholic Elementary School (southwest) and recreational playing fields (southwest).

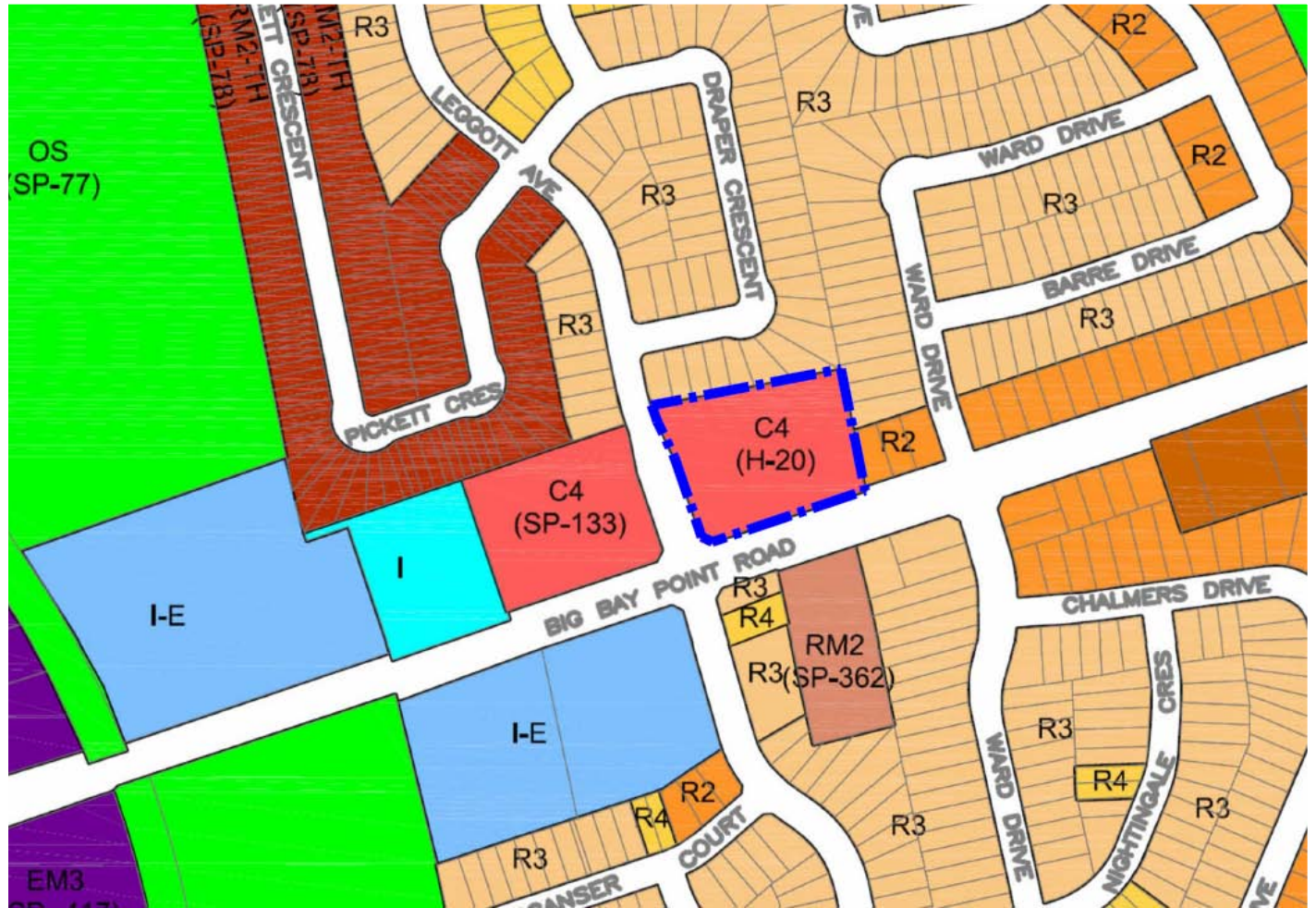
WEST: Leggott Avenue, a commercial plaza, a Fire and EMS Station, Willow Landing Elementary School and commercial/industrial uses at Big Bay Point Road and Huronia Road.

Official Plan

-  Subject Lands
-  Residential
-  General Commercial
-  Open Space
-  General Industrial
-  Institutional
-  Educational Institutional
-  Environmental Protection Area



Zoning



Technical Studies Completed

- Functional Servicing Brief (**Counterpoint Engineering**)



- Geotechnical Investigation Report (**Cambium Inc.**)



- Phase 1 Environmental Site Assessment (**Cambium Inc.**)

- Commercial Needs Assessment (**Tate Economic Research Inc.**)



- Stage 1-2 Archeological Assessment (**Amick Consultants Limited**)



- Planning Justification Report (**MHBC**)



Project History & Planning Process

JULY 10, 2014

PRE-CONSULTATION MEETING WITH CITY STAFF ON INITIAL CONCEPT PLAN

NOVEMBER 10, 2014

OFFICIAL PLAN AMENDMENT (OPA), ZONING BY-LAW AMENDMENT (ZBA) & SITE PLAN APPROVAL (SPA) APPLICATION SUBMISSION

DECEMBER 3, 2014

APPLICATIONS DEEMED COMPLETE

JANUARY 6, 2015

PUBLIC WARD MEETING

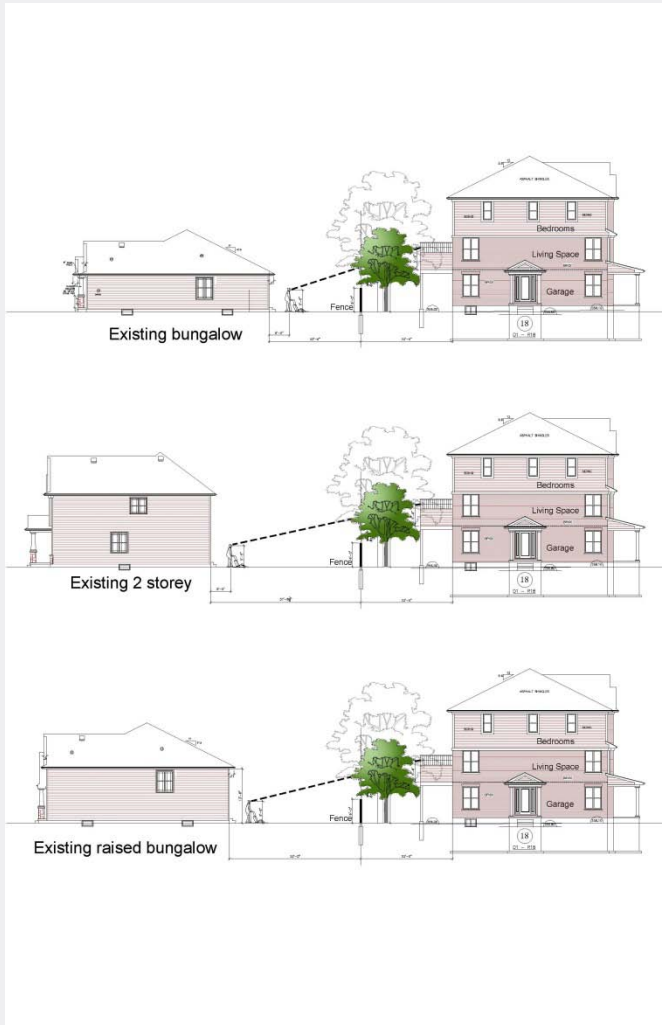
JANUARY 15, 2015

SITE PLAN TECHNICAL MEETING WITH CITY STAFF

APRIL 8, 2015

RESUBMISSION OF SITE PLAN AND LANDSCAPE PLAN (WITH ZONING BY-LAW AMENDMENT REVISIONS) – IN RESPONSE TO COMMENTS

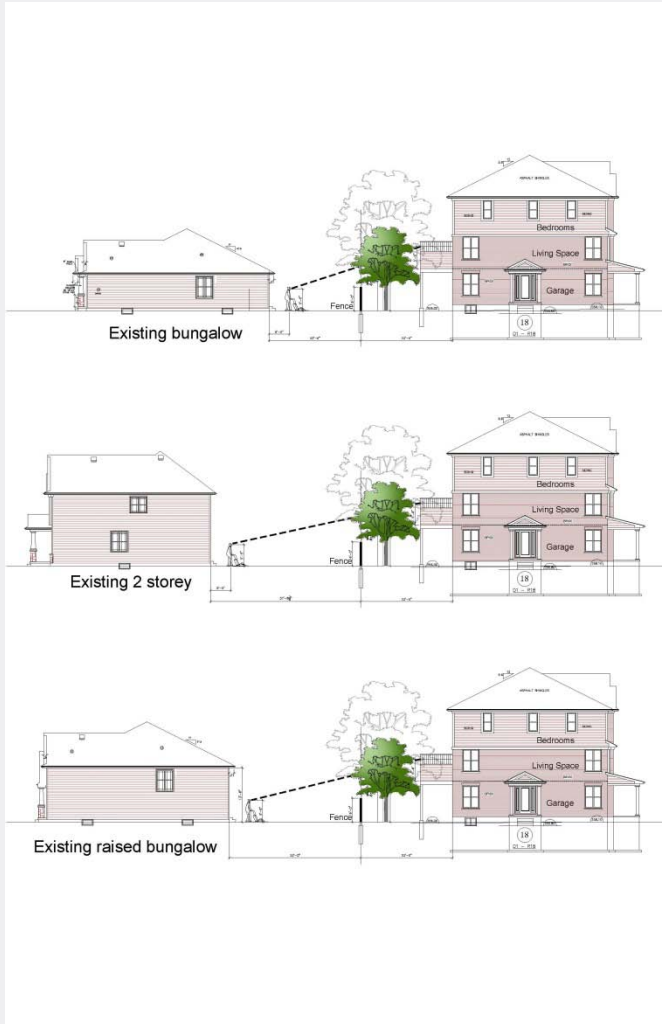
Public Ward Meeting Comments



Height of townhouses (prefer 2-storeys): Residents concern with Shadowing & Rear Terraces

- Townhouses incorporate garage on the first floor, relying on the second floor for “living space” and the third level for bedrooms
- Two-storey units would reduce density to the point it would make the project non-viable
- 6.0 m high privacy wood fence

Public Ward Meeting Comments



Height of townhouses (prefer 2-storeys): Residents concern with Shadowing & Rear Terraces

- Added more trees to provide visual mitigation
- Majority of existing dwellings to the north (minimal shadow effect on north side). Greater setback (min. 8.05 m) from easterly boundary.
- Setbacks increased along north property boundary (ranges from 7.05 to 10.4 m)

Site Plan – Design Considerations

- Site Access from Leggott Avenue
- Internal 2-way circular roadway
- 523 m² central outdoor amenity area
- Enhanced landscaping (meets minimum density formula + 11 boulevard trees + 132 shrubs over minimum formula)
- Enhanced elevations along Big Bay Point Road and Leggott Avenue



Site Plan – Design Considerations

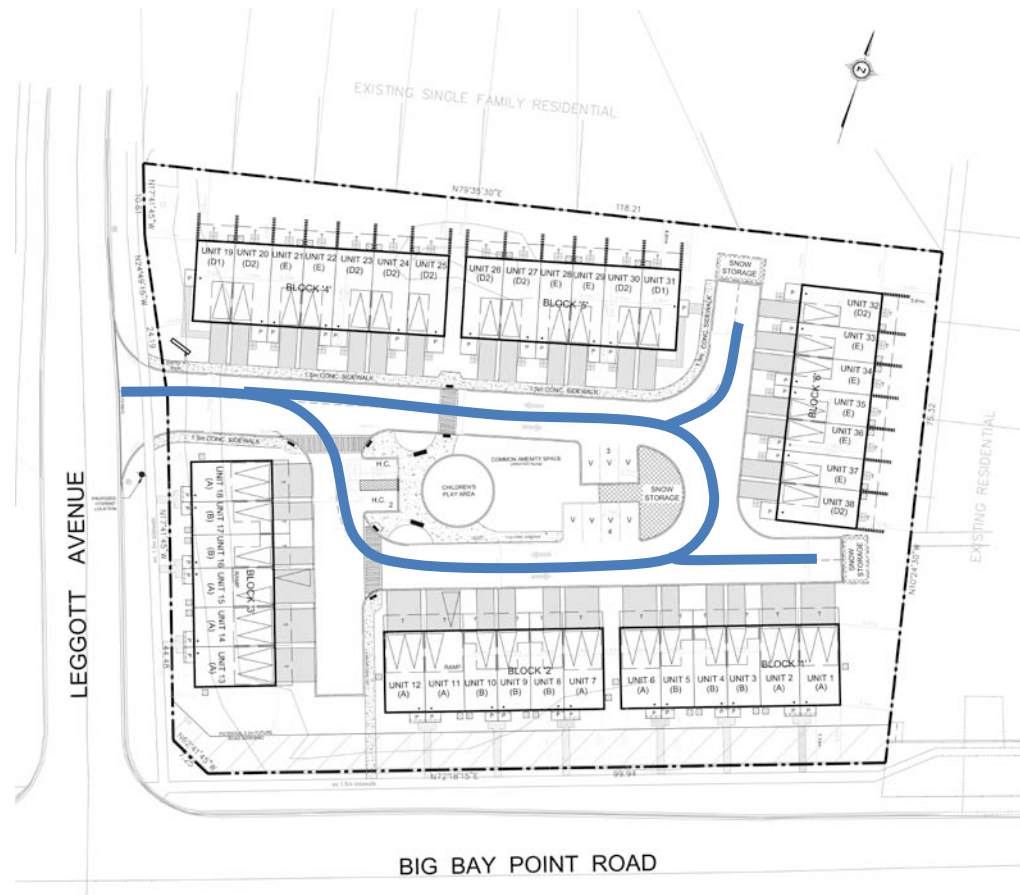
- **Site Access from Leggott Avenue**

- Internal 2-way circular roadway
- 523 m² central outdoor amenity area
- Enhanced landscaping (meets minimum density formula + 11 boulevard trees + 132 shrubs over minimum formula)
- Enhanced elevations along Big Bay Point Road and Leggott Avenue



Site Plan – Design Considerations

- Site Access from Leggott Avenue
- **Internal 2-way circular roadway**
- 523 m² central outdoor amenity area
- Enhanced landscaping (meets minimum density formula + 11 boulevard trees + 132 shrubs over minimum formula)
- Enhanced elevations along Big Bay Point Road and Leggott Avenue



Site Plan – Design Considerations

- Site Access from Leggott Avenue
- Internal 2-way circular roadway
- **523 m² central outdoor amenity area**



Looking Northwest

- Enhanced landscaping (meets minimum density formula + 11 boulevard trees + 132 shrubs over minimum formula)
- Enhanced elevations along Big Bay Point Road and Leggott Avenue



Looking Southeast

- ❖ **Self-contained with internal parkland and playground area.**
- ❖ **On-site visitor parking provided.**

Site Plan – Design Considerations

- Site Access from Leggott Avenue
- Internal 2-way circular roadway
- 523 m² central outdoor amenity area
- **Enhanced landscaping (meets minimum density formula + 11 boulevard trees + 132 shrubs over minimum formula)**
- Enhanced elevations along Big Bay Point Road and Leggott Avenue



Site Plan – Design Considerations

- Site Access from Leggott Avenue
- Internal 2-way circular roadway
- 523 m² central outdoor amenity area
- Enhanced landscaping (meets minimum density formula + 11 boulevard trees + 132 shrubs over minimum formula)
- **Enhanced elevations along Big Bay Point Road and Leggott Avenue**



- ❖ **Relief provided on elevations for visual interest**
- ❖ **Application of traditional brick and stone design to complement existing neighbourhood**
- ❖ **Professional landscaping**
- ❖ **Townhouses with entrances/porches line edge of Big Bay & Leggott**

Site Plan – Design Considerations

- Site Access from Leggott Avenue
- Internal 2-way circular roadway
- 523 m² central outdoor amenity area
- Enhanced landscaping (meets minimum density formula + 11 boulevard trees + 132 shrubs over minimum formula)
- **Enhanced elevations along Big Bay Point Road and Leggott Avenue**



- ❖ **Internal view**
- ❖ **Mix of materials including traditional brick and stone**
- ❖ **Relief provided on elevations for visual interest**
- ❖ **Garages flush with elevation**
- ❖ **Professional landscaping**

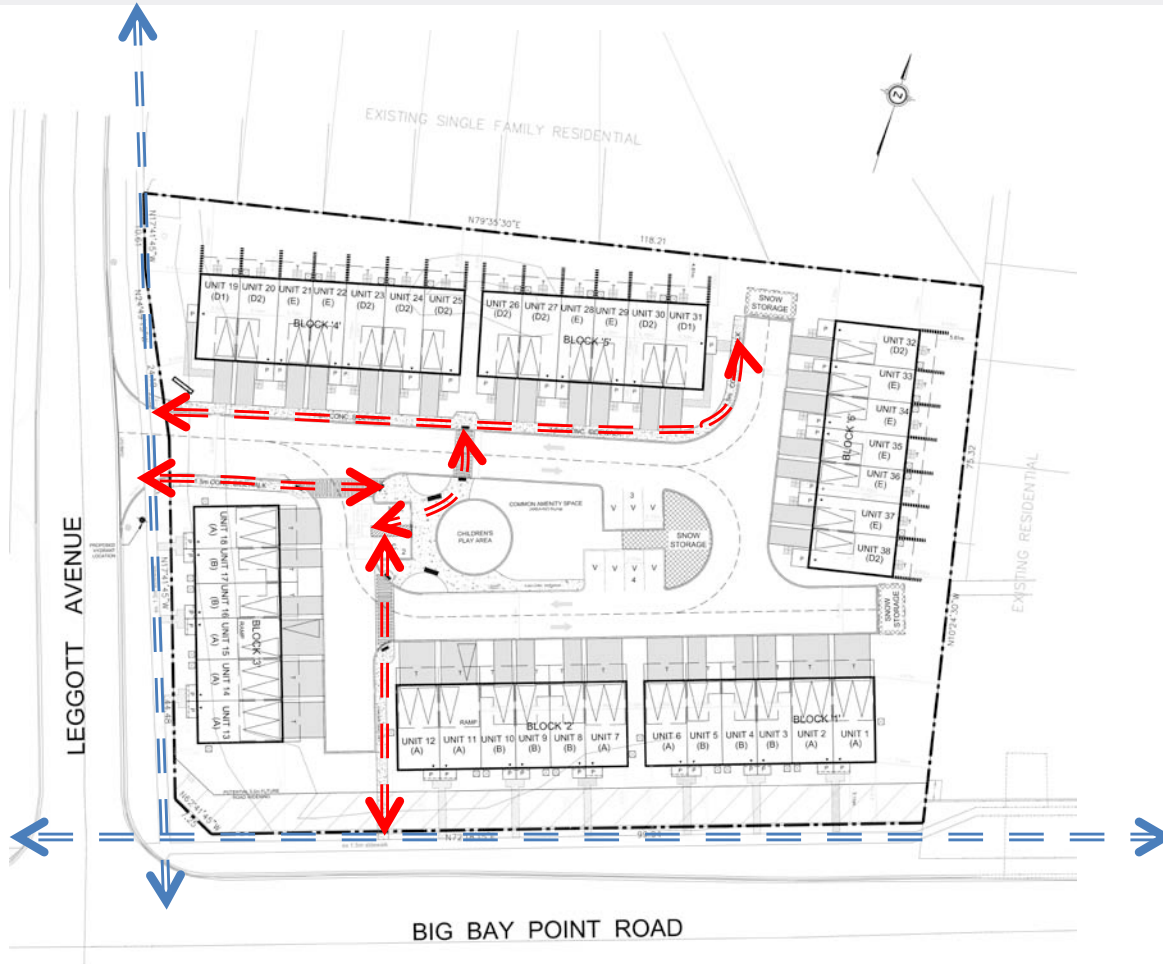
Pedestrian Connectivity



Unit Connections to Existing Pedestrian Network



Existing Pedestrian Network



Requested Zoning By-law Amendments

- **Front Yard Building Setback**

- Required: 7.0 m (required for buildings with a secondary means of access)
- Provided: 3.3m for Units fronting Leggott Avenue only (i.e. Block 3)

- **Front Yard Porch Setback**

- Required: 3.0 m
- Provided: 1.78m for Units fronting Leggott Avenue only (i.e. Block 3)

- **Gross Floor Area (maximum % of lot area, excluding garages)**

- Required: 60%
- Provided: 70%

- **Density (maximum for block/cluster townhouses)**

- Required (Official Plan): 53 units per net hectare (48 Units)
- Required (Zoning By-law): 40 units per net hectare (36 Units)
- Provided: 41.8 units per net hectare (38 Units)

Questions?



370 BIG BAY POINT ROAD // RESIDENTIAL CLUSTER TOWNHOUSE DEVELOPMENT