

From: Lana Marmush [REDACTED]
Sent: Wednesday, January 30, 2019 1:29 PM
To: Office of the Mayor <OfficeoftheMayor@barrie.ca>; Sergio Morales <Sergio.Morales@barrie.ca>; Jordan Lambie <Jordan.Lambie@barrie.ca>
Subject: 400 Lockhart Road (Proposed Development) - Forest Removal

Dear Mayor Jeff Lehman, Councillor Sergio Morales and Jordan Lambie,

[REDACTED] The purpose of this email is to provide additional comments for consideration for the Public Meeting scheduled to take place before the mayor and council on February 25th, 2019 at 1900hrs in regards to the proposed development at 400 Lockhart Road in the City of Barrie.

We attended the neighbourhood meeting on Jan 9, 2019 and learned that the "Sorbara" Developer is seeking to obtain approval for a new development which entails completely eliminating and destroying the existing green life and wild life in our back yard. The area we are referring to is located on the east side of Priscilla's Place between Fenchurch Manor and Lockhart Road (A Photo is attached of subject area with this email) This backyard is not just "our" backyard but it's the yard of all 197,000 City of Barrie residents. As you are aware, trees create an ecosystem to provide habitat and food for birds and other animals. Trees also absorb carbon dioxide and potentially harmful gasses, such as sulfur dioxide, carbon monoxide, from the air and release oxygen. The removal of the subject forest will have a detrimental effect on all of the City of Barrie.

Before we begin listing a plethora of reasons as to why removing the existing green life and wild life is an absolute horrible idea, we just wanted to remind you why our family chose to make the City of Barrie our home which was primarily due to the city's commitment to beautifying, preserving and improving the urban environment. The City of Barrie website indicates verbatim "The Urban Forest is in your hands. A healthy city needs a strong green infrastructure, and more than 75% of the land in Barrie is privately owned; therefore, homeowners play a vital role in sustaining our green city". We agree with this statement, which is why we have trust and faith in the mayor and council to make the right decision and stop the Sorbara development from destroying the existing green life and wild life of the subject forest as this will cripple the City of Barrie's green infrastructure significantly.

We have come up with a list of reasons as to why removing the subject forest would be detrimental to the City of Barrie's green infrastructure and the residents who live there. Please consider these reasons when drafting your decision:

Removing the subject forest will trigger ground movements which can cause cracks to existing homes, foundations, pavement, decks, and fences.

- Other municipalities require a variance of 33 metres. This variance would at least save most of the subject forest
- The subject forest is dense with Trillium Flowers. Removal of these flowers would be in contravention of the Ontario Trillium Protection Act
- Wildlife depends on elevated ground forests for tall trees and burrowing into ground. The subject forest has hundreds of tall 60' to 70' trees
- The subject forest would also act a windbreak from strong westerly winds, to help prevent damage to new buildings, if development goes forward
- Trees create an ecosystem to provide habitat and food for birds and other animals. Trees also absorb carbon dioxide and potentially harmful gasses, such as sulfur dioxide, carbon monoxide, from the air and release oxygen

In conclusion, we are requesting that the subject forest be left untouched or incorporated into Sorbara's new development plan by providing at least a 33 metre variance from the property line of all residents effected.

Thank you for your time and consideration,

Lana Marmush, Ivan Marmush and Lyubomyr Marmush



From: Sergio Morales
Sent: Thursday, January 31, 2019 9:36 AM
To: Linda Kuba [REDACTED]
Cc: Office of the Mayor <OfficeoftheMayor@barrie.ca>; Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Subject: Resident comments regarding 400 Lockhart Rd

Hi Andrew,

See the email below regarding the proposed 400 Lockhart Road proposal.

Mr. and Mrs. Kouba would like these comments to be added to the city's records, as well as forwarded to the applicant so that they have the comments before the upcoming public meeting.

Sergio Morales B.Comm.
Barrie City Councillor

On Jan 23, 2019, at 12:53 PM, Linda Kuba [REDACTED] wrote:

The proposed development at 400 Lockhart Rd. will remove several forests on elevated grounds and only allows EP land on north side. This area is lower elevation (Lovers Creek), more saturated and has mostly dense cedar trees. There is a forest behind Priscilla's Place (on west side of proposed development) extending past Bartor Rd. This forest has hundreds of 65' to 75' tall trees and is at a higher elevation. Many species of wildlife (chipmunks, rabbits, etc.) depend on it for burrowing into the ground. Squirrels and birds depend on the trees and for seeds a dozen wild turkeys even forage through it.

Other municipalities implement a minimum 30 metre variance or distance due to the noise, disruption and disturbance to existing homeowners, caused by such a big development.

The developer will promise to use less invasive equipment, but once the amendment is passed will cite safety reasons for using heavy earth movers, bulldozers and excavating machines. The ground movements can cause cracks to existing homes, foundations, pavement, decks and fences, etc. to shift. The forest would also act as a wind break from strong westerly winds to help prevent damage to the newly constructed buildings in the proposed development.

A 33 metre variance from existing homeowners properties would preserve most of this forest and would alleviate some of our concerns with clearing precious land for another big development in Barrie.

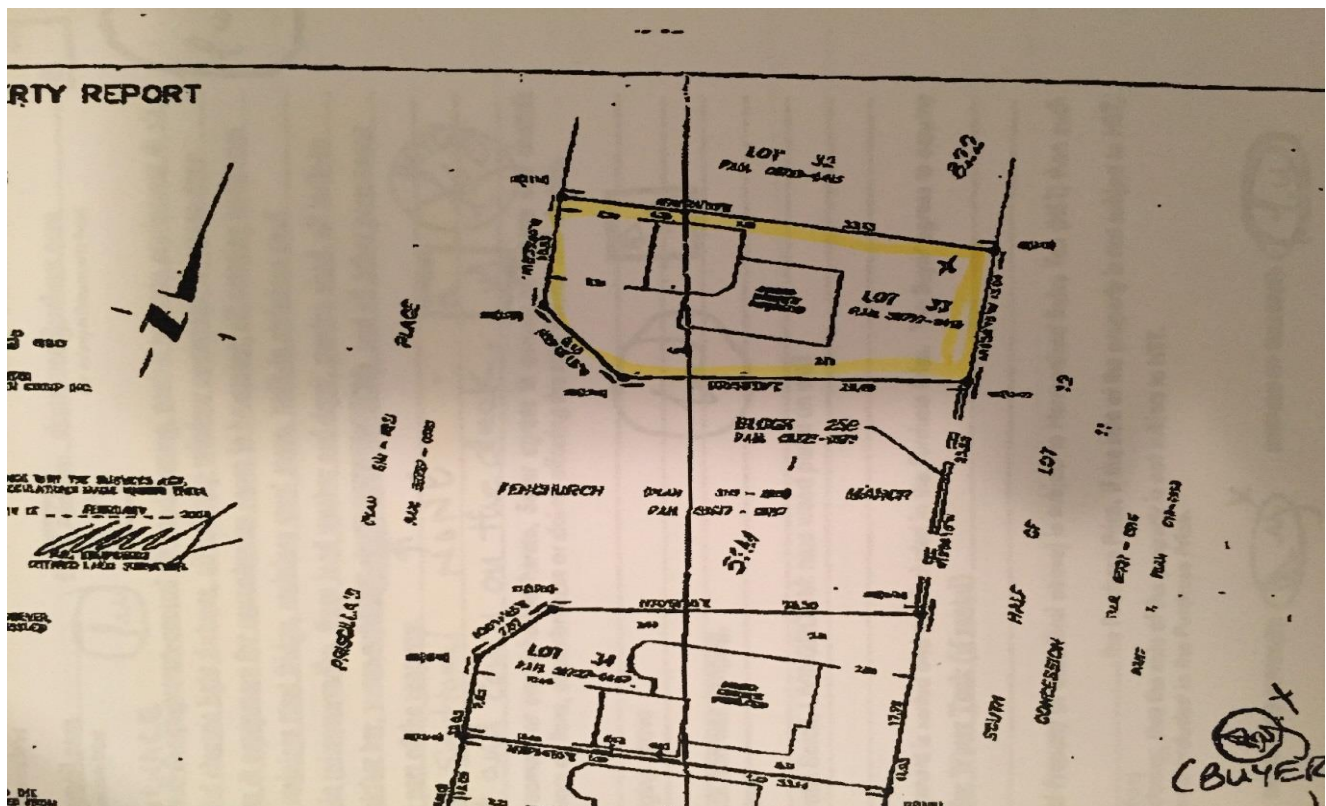
Thank you, Mike and Linda Kouba

One of the main concerns mentioned during the meeting was that fact that many of the people that had purchased property on Bartor Blvd. and Priscillas Pl. had done so with the understanding that there would continue to be a wooded / ecological conservation area behind their property. We have since learned that this is not the case and some tensions have occurred in relation to the proposed property development and now the loss of the same wooded area which has been utilized by many within the community.

[REDACTED] The land referred to in this document will therefore be in relation to this, and is described as follows;

Municipal Address: 1 Bartor Blvd. Barrie ON, L4N 5X7
Legal Description: Lot 33, Plan 51M822
City of Barrie, County of Simcoe, P.I.N. 58727-0446 (LT)

The section highlighted in the picture below shows the property line of my land:



I must make the point that the property line for the back (East) of 1 Bartor Blvd. extends beyond the fence line. I was told upon moving into the area that the property was not fully developed on the East end of the property line due to water drainage issues. The sump pump installed in the residence is going on and off on a constant basis. This has also created an issue where the owned land is extended beyond the fence line for about 8-10 feet.

Also of note is that a retaining wall was created to keep the grade of the property in line with the road. This retaining wall was created on the current fence line and well within the property line. Once you go beyond the retaining wall there is a 2-3 foot drop in the grade of the land. Any future development will have to take in account that there is a large difference in the grade of the property and that the previous developers constructed a retaining wall within the property line to deal with ongoing water drainage issues. The area would have to be filled in with earth and the retaining wall removed. This will in part then change the location of the existing fence line and extend it out to the actual property line.

Further to that, the retaining wall continues North along multiple property's, not just 1 Bartor Blvd. Any future proposed development would have to consider the retaining wall and the land grade difference that has been created and must deal with it. The retaining wall extending to the North from 1 Bartor Blvd. also including the properties of 3, 5 and 7 Bartor Blvd.

To provide a better understanding of what the property actually looks like, the picture below shows a topographic view of the property including fence lines. The area beyond the fence / retaining wall will have a 2-3 foot drop difference in grade;



During the meeting on January 09, 2019, it was mentioned that there would be preserved trees along the property line of the proposed future development and the current properties along Bartor Blvd. and Priscillas Pl. However, due to the grade difference and those trees being much lower than the actual grade of the property, I would assume that this would affect the life of those trees and their future viability. Also this has the possibility of creating addition conflict in the future with the new property owners that also share the same tree. Therefore, calling the trees a preservation line I feel, is more a matter of word play. When in truth it would be more logical to remove the tree to begin with as the developer has created no other viable options.

Thus the option the current property owners have is either keep the tree, and cause future issues with the new property owner boarding / issues with the creation of a fence / issues with the fact that it will be the only old growth remaining with no other trees left to help insulate from the wind (thus creating a falling hazard). Or, you could remove the trees like the developer wants. So, in the end it feels like there is no choice or option available.

By the future development proposal removing the wooded / ecological area to the East of Bartor Blvd., much animosity could be created with the already established community. Many of the individuals that have purchased land on Bartor Blvd. had done so because there was a wooded / ecological area behind them. Barrie is a beautiful area and much of that is due to the integration of the environment within the community. By removing something that is currently utilized by the community on an ongoing basis, it would only be detrimental to the image that Barrie portrays.

Perhaps the developer should consider some outside the box type of thinking when considering the wooded / ecological area that are bordering pre-existing properties and / or structures within Barrie. During the town meeting above, it was mentioned by someone that instead of creating the recreation area square to the south, the developer should consider making an extended recreational area running North to South along the pre-existing wooded / ecological area opposite of Bartor Blvd. and Priscillas Pl. This will allow for the current old growth of trees to remain and allow for the addition of a recreational space, making the area even more of a desired location.

Although I am suggesting the outside the box type of thinking listed above, I can only assume that the proposed land development as it stands, will be what happens. I would have liked there to be more community consultation done on the matter, but in the end it feels futile, and no matter how upset the community may feel, the decision has already been done for them.

With that being said I would like to have the following questions answered.

Questions:

1. What plan does the developer have in place to deal with the difference in the grade of the land located at the back of 1 Bartor Blvd and properties further to the North along Bartor Blvd?
2. What is the plan to deal with the fact that many of the properties extend beyond the fence line?
3. There are some land owners that have a retaining wall at the rear of their property that creates a grade level discrepancy. Will there be a plan for the removal of the current retaining wall in order to correct the grade of the land?
4. It was mentioned that the some of the trees could be preserved. Due to the grade difference in the land, in order to make it level there would be a large amounts of earth deposited. Would this not fill up around the tree stumps and kill them?
5. During the town meeting the person in charge of trees said that he would be coming out to make an assessment and view the area behind the retaining wall to see what could be done. When would this be happening?
6. What plan is there to address the massive water drainage issues along Bartor Blvd. that caused the past developer to create a retaining wall in the first place and not fully develop some properties?
7. Would the town / developer consider creating an elongated recreation area running North to South where the current wooded / ecological area is located.
8. Would the town / developer consider extending the property line of the current pre-existing properties to compensate for the removal or the wooded / ecological area? Many individuals purchased the property with that in mind. It was mentioned in the town meeting on January 09 2019 that some even paid extra due to the wooded area.
9. When is there going to be a future town meeting on the issues and proposed development?

Please advise as soon as you can about the matters discusses in this document.

Thank you in advance
Robert Downey
1 Bartor Blvd. Barrie.

From: Ray Duhamel [<mailto:RDuhamel@jonesconsulting.com>]
Sent: Thursday, February 07, 2019 3:27 PM
To: [REDACTED]
Cc: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Subject: 400 Lockhart Road, Barrie Property question.docx

Hi Rob,

Andrew Gameiro passed along your Word document containing comments and questions concerning the development proposed at 400 Lockhart Road.

I have responded to each of your questions below:

1. What plan does the developer have in place to deal with the difference in the grade of the land located at the back of 1 Bartor Blvd and properties further to the North along Bartor Blvd?

Response: As per standard City of Barrie Engineering requirements, the proposed grading will match existing grades at the property line, or where there are trees to be preserved, the grading will match existing grade at the dripline on the subdivision property. No grading, tree removal or any other works are proposed on adjacent private property.

2. What is the plan to deal with the fact that many of the properties extend beyond the fence line?

Response: Refer to Question #1 response. No works will be undertaken on 1 Bartor Blvd.

3. There are some land owners that have a retaining wall at the rear of their property that creates a grade level discrepancy. Will there be a plan for the removal of the current retaining wall in order to correct the grade of the land?

Response: The retaining wall will not be removed. Refer to Question #1 response. There will be no works undertaken on 1 Bartor Blvd because we will be matching existing grades at the property line.

4. It was mentioned that the some of the trees could be preserved. Due to the grade difference in the land, in order to make it level there would be a large amounts of earth deposited. Would this not fill up around the tree stumps and kill them?

Response: Refer to Question #1 response. There will be no grading on 1 Bartor Blvd or any other adjacent private property. The retaining wall on Bartor Blvd and others will remain. We will match existing grades at the property line or the drip line on the subdivision property (whichever is more restrictive).

5. During the town meeting the person in charge of trees said that he would be coming out to make an assessment and view the area behind the retaining wall to see what could be done. When would this be happening?

Response: This meeting is scheduled for February 15th at 2pm. We will meet at the extension of Thicketwood.

6. What plan is there to address the massive water drainage issues along Bartor Blvd. that caused the past developer to create a retaining wall in the first place and not fully develop some properties?

Response: No works are proposed on adjacent private properties.

7. Would the town / developer consider creating an elongated recreation area running North to South where the current wooded / ecological area is located.

Response: The City requires that park spaces in the new subdivision be programmed active spaces for the benefit of new and existing residents. As such, any relocation would still require the removal of the trees. Furthermore, the location of the parkland spaces have been established based on direction from City Engineering staff.

8. Would the town / developer consider extending the property line of the current pre-existing properties to compensate for the removal or the wooded / ecological area? Many individuals purchased the property with that in mind. It was mentioned in the town meeting on January 09 2019 that some even paid extra due to the wooded area.

Response: There will be no adjustment to existing property boundaries. The 'wooded/ecological' area is not a significant natural heritage feature, and that land is designated for residential use. Unfortunately, if a real estate agent did tell you that the private adjacent trees were protected, then they misinformed you.

The subdivision has been designed to provide significantly extra lot depth (18-20 feet) to preserve boundary trees and to provide a spatial separation from the existing dwellings.

9. When is there going to be a future town meeting on the issues and proposed development?

Response: The Public Meeting is scheduled at Barrie City Council on February 25, 2019 at 7pm.

I have copied Andrew Gameiro on this email so that it forms part of the public record.

Ray

From: [REDACTED]
Sent: Wednesday, February 06, 2019 4:04 PM
To: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Subject: Picture of Opossum behind our fence on Monday, February 4th.

Hi Andrew,

This is a picture of an opossum just behind our fence on Monday, February 4th.

This little innocent animal is just one of the many creatures that live in this forest.

I have seen deer, wild turkeys, giant pileated woodpeckers, hawks, owls, fox, coyotes, rabbits, raccoons, Canada geese, mallard ducks, squirrels, chipmunks, monarch butterflies, bats, skunks, groundhogs, garter snakes, honey bees, fireflies, frogs, toads and a wide variety of wild birds in this forest over the last 10 years. There is an entire community of wildlife living and thriving in this forest.

How can anyone knowingly take away their homes and potentially kill them? Who are we to destroy their homes? This kind of action taken by man are what will lead to many of the species becoming extinct one day and it's totally preventable.

There are so many other fields with nothing on them that can be built on. Why destroy this wildlife homes and the trees that sustain them.

Are we not environmentally friendly and conscience to care about our planet in this day and age?

The trees help to support our planet's atmosphere and the destruction of them is unconscionable.

If only we all cared about our planet it might still be habitable for generations to come.

Kind regards,

[REDACTED]



From: [REDACTED]
Sent: February 11, 2019 2:59 PM
To: Andrew Gameiro
Subject: Re: Picture of Opossum behind our fence on Monday, February 4th.

Hi Andrew,

Thank you for your detailed explanation, you have been very patient with me and I appreciate the fact that you respond to me promptly.

Also, I was home briefly this afternoon after an appointment to see a gentleman installing red topped posts on the other side of our fence.

This almost makes me feel like the decision has been made before the meeting even occurs?

Could you please advise what the significance of these posts are?

Kind regards,

[REDACTED]

From: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Sent: February 11, 2019 2:32 PM
To: [REDACTED]
Subject: RE: Picture of Opossum behind our fence on Monday, February 4th.

Hi [REDACTED]

Your comments will form part of the February 25th General Committee meeting agenda. As such, Council will have an opportunity to review them.

The concerns raised by the public will also be identified in the staff report that is brought forward to Council with a recommendation on the application.

Council will review all comments and the staff report and make a decision to approve or deny the application. This will occur in the spring.

I cannot comment on what Council's decision will be on the application. If you wish to submit additional comments with respect to the application, I will make sure that they are forwarded to the Legislative and Court Services Department to be added to the meeting agenda.

Kind regards,

Andrew Gameiro
Planner
Planning and Building Services Department



From: [REDACTED]
Sent: Monday, February 11, 2019 10:47 AM
To: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Subject: Re: Picture of Opossum behind our fence on Monday, February 4th.

Hi Andrew,

But what I mean is will my one voice make any difference in the world of greed vs. conscience and the doing the right thing?

Taking comments into consideration means what exactly?

Kind regards,
[REDACTED]

From: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Sent: February 11, 2019 10:45 AM
To: [REDACTED]
Subject: RE: Picture of Opossum behind our fence on Monday, February 4th.

Hi [REDACTED]

Council will certainly take your comments into consideration when a decision is made regarding the proposed application.

Kind regards,

Andrew Gameiro
Planner
Planning and Building Services Department



From: [REDACTED]
Sent: Monday, February 11, 2019 10:40 AM
To: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Subject: Re: Picture of Opossum behind our fence on Monday, February 4th.

Hi Andrew,

If as you say the council are the decision makers, will any of my comments stand a chance of reversing this destruction of the environment and wildlife?

Kind regards,
[REDACTED]

From: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Sent: February 8, 2019 1:37 PM
To: [REDACTED]
Subject: RE: Picture of Opossum behind our fence on Monday, February 4th.

[REDACTED]

I do sincerely appreciate your comments and your passion for the environment and your neighbourhood. I think it is important to voice your concerns and put them out there to be heard by Council, as they are the decision-makers.

The correspondence that you have provided will contain your name as the Planning process is public and your comments will form part of the official record. However, they will not be sent to any media sources or be posted on the City's social media.

Please confirm that you are okay with your comments being brought forward on the February 25th General Committee agenda.

Thank you,

Andrew Gameiro
Planner
Planning and Building Services Department



From: [REDACTED]
Sent: Friday, February 08, 2019 12:12 PM
To: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Subject: Re: Picture of Opossum behind our fence on Monday, February 4th.

Hi Andrew,

It deeply saddens me that somehow human beings feel entitled to destroy wildlife and the environment in which these defenseless animals have no say in what is happening to them.

It seems to me that no matter how many people there are that care, there will always be more that don't and unfortunately that will be the downfall of the planet in general. The people who designated this as residential obviously have no regard for the environment or wildlife.

If I don't voice my opinion to at least you, then I am not living authentically.

Kind regards,
[REDACTED]

From: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Sent: February 8, 2019 11:56 AM
To: [REDACTED]
Subject: RE: Picture of Opossum behind our fence on Monday, February 4th.

[REDACTED]

Sure, thank you. I appreciate your comments and photos, and your genuine concern for your neighbourhood and the environment.

I would like to point out that with the exception of the Natural Heritage lands on the north end of the site, the property is designated residential in the Hewitt's Secondary Plan. The land uses were established through the development of the Hewitt's Secondary Plan from 2009-2015. City policy requires the developer to protect the Natural Heritage lands and dedicate them to the City as they form part of the overall Natural Heritage System (NHS), as identified in the Hewitt's Secondary Plan. City policy also requires the applicant to preserve and protect any shared boundary trees.

I will send your comments to the Legislative and Court Services Department to be added to the Public Meeting agenda.

Your comments will not be posted on Social Media and I will not be sending your comments to any local papers, news outlets, etc. However, please be advised that all of this information forms part of the public record and the Public Meeting Agenda is accessible to the public.

Also, the media typically attends our Council meetings and reports on key Planning issues in the community. However, they don't usually single out residents who provide comments. Typically, they will generalize the concerns of all residents in their articles (i.e. 'residents raised issues such as tree preservation, loss of wildlife habitat, etc.').

Kind regards,

Andrew Gameiro
Planner
Planning and Building Services Department



From: [REDACTED]
Sent: Friday, February 08, 2019 11:32 AM
To: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Subject: Re: Picture of Opossum behind our fence on Monday, February 4th.

Hi Andrew,

You are welcome for the comments and photo.

Would you like me to keep my eye out for other wildlife photos to send you?

It's too bad that we did not know that their lives were in danger, otherwise I would have done so earlier when I have seen all of these.

Yes I would like these to be added to the Public Meeting Agenda.

Kind regards, [REDACTED]

From: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Sent: February 7, 2019 8:42 AM
To: [REDACTED]
Subject: RE: Picture of Opossum behind our fence on Monday, February 4th.

[REDACTED]

Thank you for your comments and for this photo, I appreciate it.

I will forward these comments to the applicant for their consideration. They will also be addressed when a staff report is brought forward to Council.

Please let me know if you would like these comments to be added to the Public Meeting Agenda on February 25th.

Kind regards,

Andrew Gameiro
Planner
Planning and Building Services Department



City of Barrie: City Hall, 70 Collier Street, P.O. Box 400, Barrie ON, L4M 4T5
Ext. 5038
www.barrie.ca

From: Linda Kuba [REDACTED]
Sent: Sunday, February 17, 2019 11:38 AM
To: Sergio Morales <Sergio.Morales@barrie.ca>; Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Subject: Concerns Re: Proposed Development at 400 Lockhart Rd., Barrie, ON

Good Afternoon,

Please find attached the concerns from ourselves and many of our neighbours.

Thank you,
Mike and Linda Kouba
Sent from [Outlook](#)

Our neighbours are in agreement with us that the city should not allow this amount of trees to be removed. It will have a negative environmental and ecological impact. These trees help to reduce pollution and also provide an eco system for the many species of wildlife that depend on the higher elevation grounds for burrowing and the trees for shelter. They also reduce pollution that will be caused by the extra 1000 to 1500 vehicles, snowplows, garbage trucks, school buses, transit buses, lawnmowers and snow- blowers, etc. Take into consideration that the development that is already north of this one, off Mapleview Drive, is already using the same low area for EP land. There will be a lot more pollution from that development as well.

Last summer was very hot, with temperatures in the 40 degrees celsius and long periods without rain. Not only did these trees create a cool breeze, but they provided shade and moisture for the wildlife.

Without a large enough setback, this amount of development will cause a lot of noise, disruption and disturbance especially for those working night shifts.

When we took the walk through, you could see how many of these trees are on the existing properties, near the lot line or on it. The roots will be damaged if digging and grading are allowed, which can cause the tree's demise or uprooted during a windstorm. Some of the tree roots on the developers lot extend into the existing properties and can cause damage to fences and retaining walls, if allowed to be removed. The households with catch basins understood that there was an easement behind their lots for the city to access them.

A detrimental example will be set for many of the children, teens and even adults that will be left with the impression that nobody cares about the environment or ecosystem when so many trees are being cleared and animals displaced.

I would also urge you and council to have another viewing in the summer (in better weather conditions) to really understand how important this is, before any final decisions are made.

Thank you,

Mike and Linda Kouba

From: Joanne Blouin [REDACTED]
Sent: Tuesday, February 19, 2019 10:14 AM
To: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Subject: Re: On-site Meeting - 400 Lockhart Road - Proposed Zoning By-law Amendment & Draft Plan of Subdivision(FIle: D12-440 & D14-1658) - Feb 15, 2019 @ 2 pm

Hi Andrew,

Hope you had a great family day long weekend.

Since I'm not able to attend the February 25th Meeting about this development I wanted to ensure I sent my list of concerns.

- 1) When we purchased this house we were the second owners of the house. The agent told us the land behind us was Environmentally Protected land and that increased the price of the house by \$20,000. We're upset that we were misled and that now the tree's will be ripped down and the value of our house will go down even more.
- 2) Instead of removing all the tree's from the back of our lot why not leave some of the trees and then sell the single unit homes for a premium price because they have a buffer of tree's behind them?
- 3) None of the houses on our street built proper fences in the back because we thought the land was EVP. Since this is something we didn't expect would the developer be willing to help all the neighbours on this street in paying for back fences?
- 4) Another idea is to help us by planting big spruce tree's in the back to help provide some privacy from these new houses.
- 5) In regards to ripping all the tree's out from behind our houses we are also concerned that this will lead to damage to our homes. By digging out the tree's it could cause our fences, decks and homes to shift.
- 6) Also by ripping out all the tree's and building behind us we're worried that this will increase the flow of water onto our property and we don't want water issues. There is enough water issues in this subdivision. We have a catch basin at the back of our property to try and control water and all the digging in the back could worsen the water issues.
- 7) During the meeting in December it was mentioned that Fenchurch will be a main collector road for the new subdivision. This causes concern because why would our little subdivision be the main artery for a huge subdivision. We have a 3yr old and want to live in a safe neighbourhood without the concern of lots of traffic.

8) Also what will be done to help with traffic? As a commuter the addition of 500 houses will really add to my morning commute. Has planning been done to widen Lockhart Rd?

9) The land behind us is on a hill and we worry that this will make water flow onto our property

10) Will work on this development be only on week days? How long will it be for? We want to be able to sit outside and enjoy our backyard in the summer time weekends and not have to worry about our son hearing all the noise of trucks or breathing in all the dust and dirt.

11) How tall will the town home units be in this development? If these town homes are any more than 2 levels they will tarnish privacy and bring down the value of the single unit houses.

I think that's all for now, if I think of anything else I'll send another email.

Have a Great Week,
Joanne Blouin-Dafoe

From: Andrew Gameiro <Andrew.Gameiro@barrie.ca>

Sent: January 31, 2019 3:50 PM

To: Andrew Gameiro

Subject: On-site Meeting - 400 Lockhart Road - Proposed Zoning By-law Amendment & Draft Plan of Subdivision(Files: D12-440 & D14-1658) - Feb 15, 2019 @ 2 pm

Good afternoon,

Please be advised that City of Barrie staff has scheduled an on-site meeting at 400 Lockhart Road, which is currently subject to applications for a proposed Draft Plan of Subdivision and Zoning By-law Amendment (Files: D12-440 & D14-1658).

The purpose of this meeting is for City staff and the applicant's consulting team to walk to the west side lot line of the subject property with local residents. At the meeting, we will be providing an overview of tree preservation and removals and lot grading on the west side of the site.

The meeting will occur on Friday February 15th, 2019 from 2:00 pm to 4:30 pm.

We will be meeting at the eastern terminus (end) of Thicketwood Avenue and will be walking from the north end to the south end of the site.

The following individuals will be present at the meeting:

- Andrew Gameiro (Planner, City of Barrie)
- William (Bill) McGregor (Landscape Architectural Planner, City of Barrie)
- Jenna Webb (Parks and Forestry Technical, City of Barrie)
- Ray Duhamel (Planning Consultant on behalf of the applicant)
- John Priamo (Engineer on behalf of the applicant);

- Don Naylor (Arborist & Landscape Architectural Planner on behalf of the applicant); and,
- Scott Young (representative from the Sorbara Development Group).

I am hoping that we get some decent weather, but I would just like to remind everyone to please dress warmly and wear boots.

If you have any questions about the meeting, please do not hesitate to contact me.

Kind regards,

Andrew Gameiro
Planner
Planning and Building Services Department



City of Barrie: City Hall, 70 Collier Street, P.O. Box 400, Barrie ON, L4M 4T5
Ext. 5038

www.barrie.ca

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From: Andrew Gameiro
Sent: Thursday, January 10, 2019 11:43 AM
To: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Subject: Neighbourhood Meeting - 400 Lockhart Road (File: D12-440 & D14-1658)

Good morning,

Thank you for attending the Neighbourhood Meeting regarding the proposed Zoning By-law Amendment and Draft Plan of Subdivision for 400 Lockhart Road (Files: D14-1658 & D12-440).

The meeting was very productive and residents provided excellent comments and feedback. All of the comments and questions have been recorded and will be considered by City staff through the review process, and will be identified at the Statutory Public Meeting and addressed in the staff report that is brought forward to Council in consideration of the application later this year.

All of the supporting information and key dates associated with the application is available for viewing on the City's Proposed Developments Webpage: <https://www.barrie.ca/City%20Hall/Planning-and-Development/Proposed-Developments/Ward9/Pages/400-Lockhart-Road.aspx>

The next step in the application process is a Statutory Public Meeting with Council, which has been tentatively scheduled for Monday February 25th, 2019 at 7:00 pm in the Council Chambers of City Hall, 70 Collier Street, Barrie. Notices of the Public Meeting will be circulated via mail to all property owners located within 120 metres of the subject property, in accordance with the Planning Act, as well as residents who attended the Neighbourhood Meeting. Notice of the Public Meeting will also be posted on the property, in the Newspaper and on the City's website. If you are unable to attend the

Public Meeting, please feel free to provide written comments and they will be added to the General Committee Agenda and will form part of the Official Record.

I understand that some residents wish to meet on-site with City staff and the applicant's consulting team to discuss boundary trees and grading along the west property line. Please let me know if you would be interested in attending this on-site meeting and I will schedule a date and time that works for everyone.

If you have any questions regarding the submission or wish to provide additional comments, please do not hesitate to contact me.

Thank you,

Andrew Gameiro
Planner
Planning and Building Services Department



City of Barrie: City Hall, 70 Collier Street, P.O. Box 400, Barrie ON, L4M 4T5
Ext. 5038
www.barrie.ca

AIRD BERLIS

Patrick Harrington
Direct: 416-865-3424
E-mail: pharrington@airdberlis.com

February 19, 2019

Our File No. 84682

BY EMAIL

Wendy Cooke
City Clerk & Director of Legislative and Court Services
City of Barrie
70 Collier Street
Barrie, ON L4M 4T5
e-mail: wendy.cooke@barrie.ca

Dear Ms. Cooke:

**Re: Written Submission – Draft Plan of Subdivision and Rezoning
Barrie Lockhart Road GP Inc. - 400 Lockhart Road, Barrie
City File Nos.: D12-440 & D14-1658**

Our firm is counsel to North American Park Place Corporation (“North American”). North American is the owner/operator of a large mixed-use development (“Park Place”) located in the northeast quadrant of Highway 400 and Mapleview Drive in the City of Barrie.

This letter concerns the above-noted applications for rezoning and draft plan of subdivision approval filed with the City of Barrie concerning lands located at 400 Lockhart Road. These private applications are coming before the City’s General Committee for a public meeting on February 25, 2019. Please accept this letter as North American’s written submissions in accordance with subsections 34(19) and 51(39) of the *Planning Act*.

400 Lockhart Road is located within the Hewitt’s Secondary Plan Area. North American had previously sought and received party status on the appeals of the Hewitt’s Secondary Plan before the Ontario Municipal Board (now the Local Planning Appeals Tribunal or “LPAT”). As part of a settlement reached with the City of Barrie and the Hewitt’s Landowners Group, the policies of the Hewitt’s Secondary Plan were modified to require confirmation that external transportation infrastructure is available to support the level of development being approved within the Hewitt’s Secondary Plan Area.

Subsequent to the approval of the Hewitt’s Secondary Plan, the City of Barrie has had multiple occasions to consider and approve applications for site/area-specific rezoning and subdivision approvals within the Hewitt’s Secondary Plan Area. In each case, in order to address the “external transportation infrastructure” requirements of the Secondary Plan, the City has imposed a condition of draft plan approval that reads as follows:

That the owner acknowledges that there is a limitation of 2,100 lots/units that will be permitted to be finally approved by the City within the Hewitt's Secondary Plan Area prior to completion of the Harvie Road overpass over Highway 400. Prior to final approval and registration of any subdivision or Site Plan, the City shall be notified in writing, by the Trustee for the Hewitt's Landowners Group of the following:

- a) Acknowledge in writing that the Trustee has responsibility and legal authority for managing the distribution of the 2,100 unit allocation, and that they shall maintain detailed records of same;
- b) Provide documentation identifying that the number of units proposed to be registered is equal to or less than the total 2,100 unit allocation for all of the Hewitt's Secondary Plan area;
- c) Provide documentation identifying the number of units remaining, out of the total 2,100 unit allocation, that remain available for final approval/registration; and,
- d) The foregoing documentation will also be provided to North American Park Place Corporation.

The purpose of the proposed rezoning is to amend the zoning of the lands from 'Agricultural' (A) and 'Environmental Protection' (EP) to 'Neighbourhood Residential' (R5), 'Neighbourhood Mixed-use' (NMU), 'Environmental Protection' (EP), 'Open Space' (OS), and 'Institutional Education - Special' (I-E)(SP-XXX). The purpose of the subdivision application is to permit the creation of 470 to 594 residential units in a mix of housing types.

North American submits that the proposed applications warrant the same external transportation infrastructure limitation that has been imposed elsewhere within the Hewitt's Secondary Plan. More specifically, North American requests that a draft plan condition akin to what is reproduced above be imposed upon the Barrie Lockhart Road GP Inc. subdivision application. In the absence of such a condition, North American would oppose the approval of the rezoning and draft plan.

We ask that our office receive notice of any matters related to the City's consideration of the above-noted applications, including any staff report, any further meetings on the matter, as well as notice of the adoption of any by-law or any other planning approval relating to the Barrie Lockhart Road GP Inc. applications for 400 Lockhart Road.

Our office is available should the City have any questions or wish to discuss this written submission further.

Yours truly,

AIRD & BERLIS LLP


Patrick Harrington

PJH/np

c.c. S. Bishop, North American Park Place Corporation
35231150.1

AIRD BERLIS

From: Linda Kuba [REDACTED]
Sent: Tuesday, February 19, 2019 7:32 PM
To: Andrew Gameiro <Andrew.Gameiro@barrie.ca>
Subject: 400 Lockhart Rd., Barrie

For health and safety reasons, there should always be a safe enough distance between existing homeowners and large scale development sites. Dust, debris, asphalt and diesel fumes affect eyes, lungs, and immune systems. Hearing loss, migraines, and sleep deprivation can happen from all the noise that will be created. This would put the residents and their children at risk. Please take this into consideration.

Thank you,

Linda and Mike Kouba

Sent from [Outlook](#)